



ARIZONA STORAGE INNS

project consultants

landscape architecture:

DESIGN ETHIC, LLC
7201 E. CAMELBACK #250
SCOTTSDALE, ARIZONA 85251
PROJECT CONTACT: BRANDON PAUL
PHONE: 480.225.7077
EMAIL: bpaul@designethic.com

architecture:

VERTICAL DESIGN STUDIOS
4650 EAST COTTON CENTER BLVD. #130
PHOENIX, ARIZONA 85040
PROJECT CONTACT: JUSTIN GREGONIS
PHONE: 602.395.1000
EMAIL: jgregonis@verticaldesignstudios.com

civil engineering:

OPTIMUS CIVIL DESIGN GROUP
4650 EAST COTTON CENTER BLVD. #200
PHOENIX, ARIZONA 85040
PROJECT CONTACT: JEFF BEHRANA
PHONE: 602.285.9300
EMAIL: jBehrana@optimuscdg.com

owner:

WPC-NN AZSI ACQUISITION LLC
802 NORTH 3RD AVENUE
PHOENIX, ARIZONA 85003
CONTACT: DAVID M. BROWN
PHONE: 602.875.5014

city of mesa notes

ALL LANDSCAPING WITHIN THE RIGHT-OF-WAY IS IN CONFORMANCE WITH THE LOW WATER USE PLANT LIST PROVIDED BY THE ARIZONA DEPT. OF WATER RESOURCES.

ALL LANDSCAPING INSTALLED WITH THIS PROJECT SHALL BE MAINTAINED BY OWNER/OR LESSEE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.

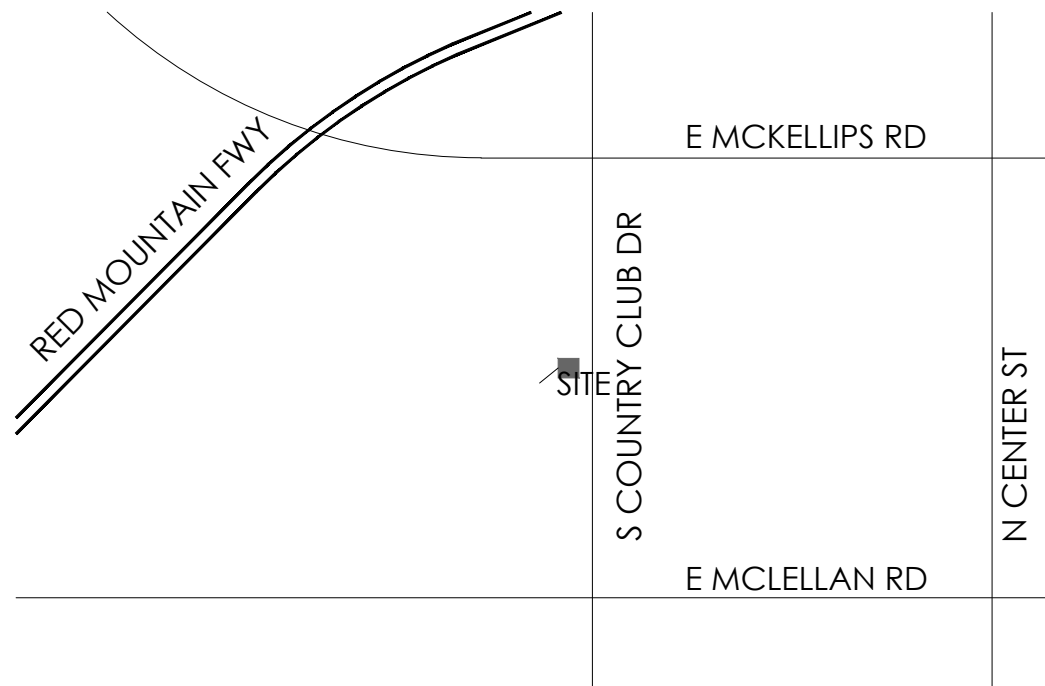
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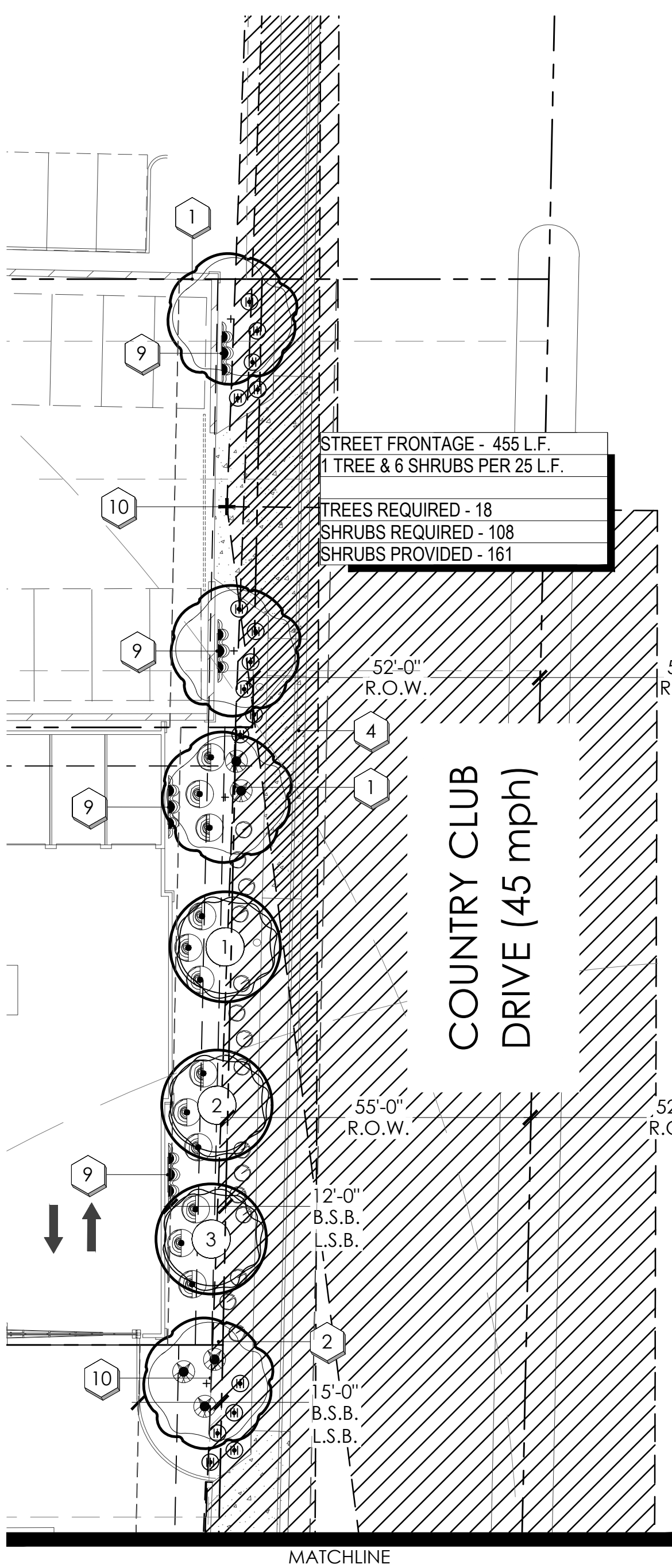
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s.v.t. calculations

COUNTRY CLUB DRIVE	
DESIGN SPEED:	45 MPH
THROUGH ROAD CROSS SECTION:	6 L.D.
REQUIRED SIGHT DISTANCE:	595'-0"

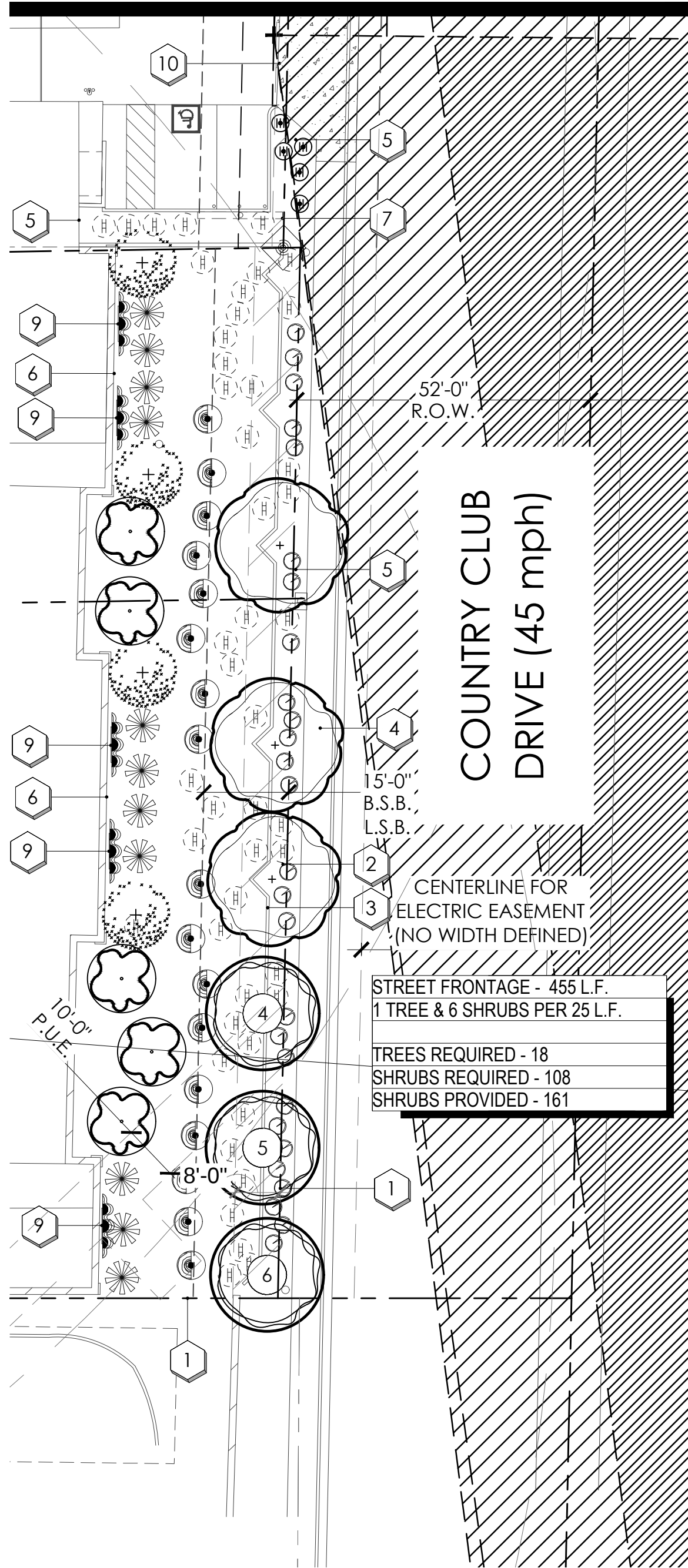


vicinity map



planting key notes

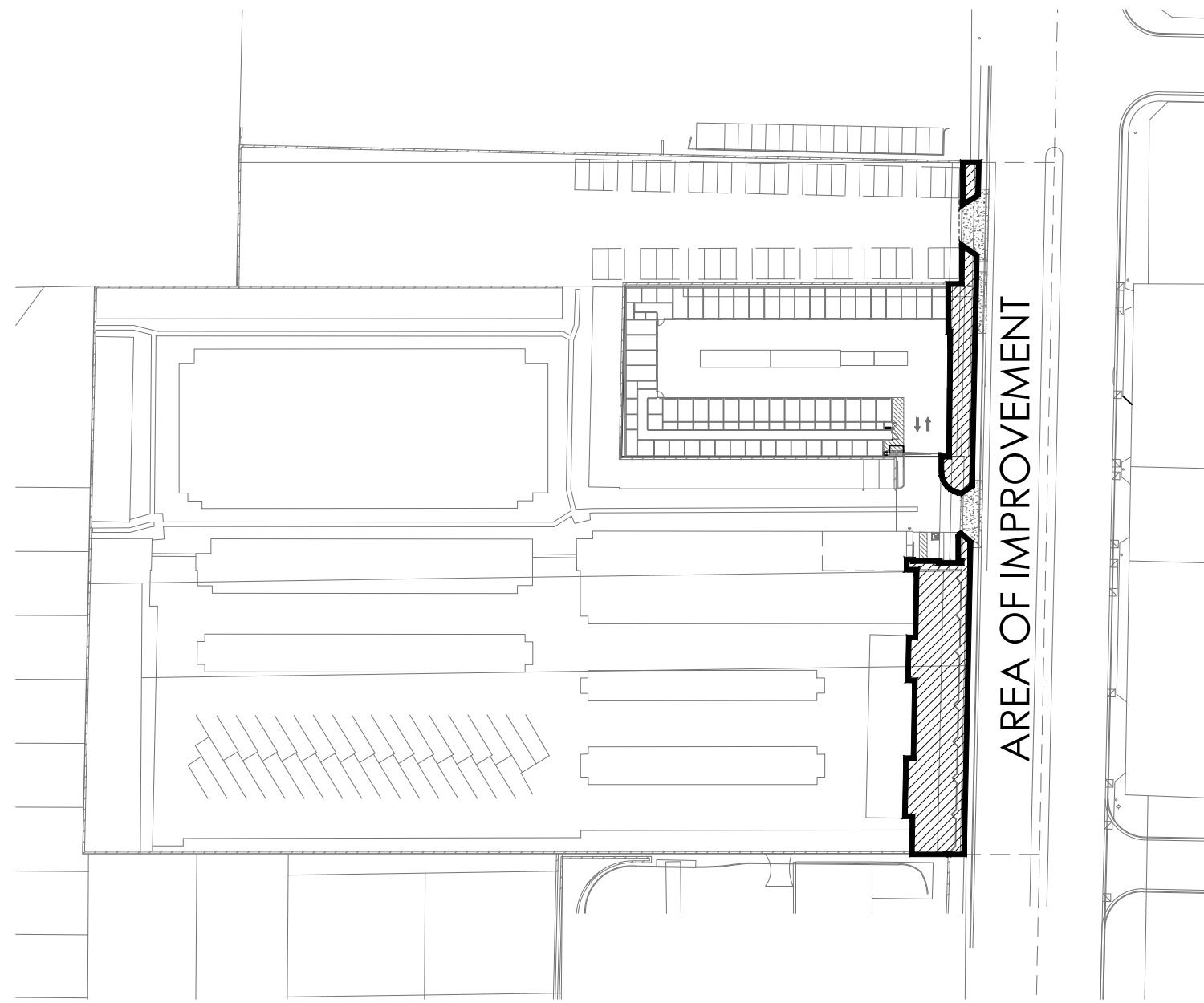
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- 2 DECOMPOSED GRANITE IN ALL PLANTING AREAS
- 3 EXISTING CONCRETE HEADER TO REMAIN
- 4 SIDEWALK.
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- 7 EXISTING ENTRY SIGN
- 8 SITE VISIBILITY TRIANGLE. MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES
- 9 METAL FRAMED TRELLIS. SEE ARCH. PLANS.
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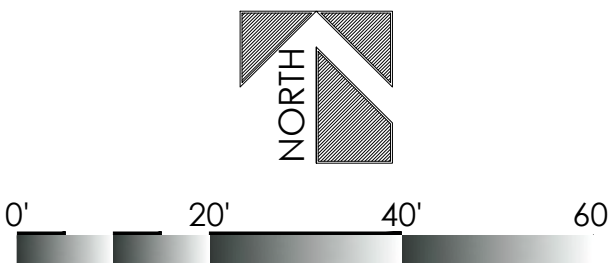
Plant #	Species	Scientific Name	Caliper (in)	Height (ft)	Width (ft)
1	SOUTHERN LIVE OAK	QUERCUS VIRGINIANA	8	15	20
2	SOUTHERN LIVE OAK	QUERCUS VIRGINIANA	8	15	15
3	SOUTHERN LIVE OAK	QUERCUS VIRGINIANA	9	15	15
4	SOUTHERN LIVE OAK	QUERCUS VIRGINIANA	12	15	20
5	SOUTHERN LIVE OAK	QUERCUS VIRGINIANA	10	15	15
6	SOUTHERN LIVE OAK	QUERCUS VIRGINIANA	12	15	15

plant legend

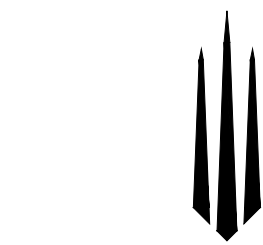
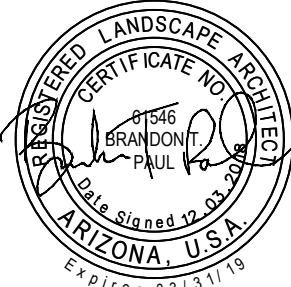
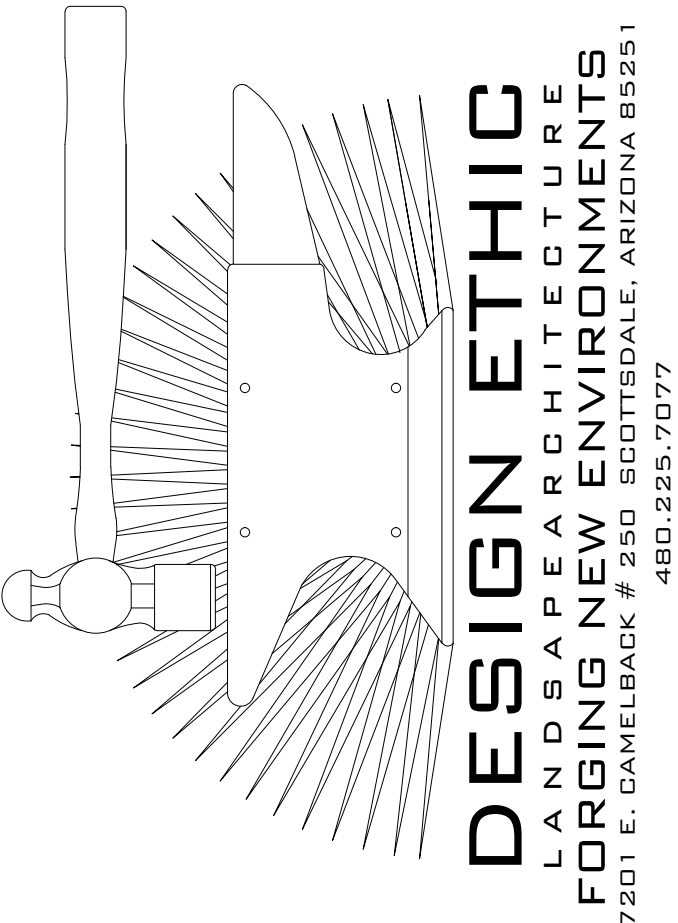
	botanical name common name	emitters	size	qty	comments
trees					
	EXISTING TREE			6	REMAIN IN PLACE
	SOUTHERN LIVE OAK			SEE TABLE	
	MARIOSOSA WILLARDIANA	(5 @ 1.0 GPH)	24\"	4	H. W., CAL. STAKE IN PLACE
	PALO BLANCO		BOX		
	HAVARDIA PALLENS	(5 @ 1.0 GPH)	24\"	5	H. W., CAL. STAKE IN PLACE
	'SIERRA SPARKLER'		BOX		
	QUERCUS VIRGINIANA	(6 @ 2.0 GPH)	24\"	7	H. W., CAL.
	SOUTHERN LIVE OAK		BOX		
vines					
	MACFADYENA UNGUIS-CATI	(1 @ 1.0 GPH)	5 GAL.	9	TRAIN TO TRELLIS
	CAT'S CLAW VINE				
shrubs					
	EXISTING SHRUB		VARIES	47	REMAIN IN PLACE
	CALLIANDRA CALIFORNICA	(1 @ 1.0 GPH)	5 GAL.	5	PLANT AT 4' O.C.
	BAJA FAIRY DUSTER				
	LEUCOPHYLLUM CANDIDUM	(1 @ 1.0 GPH)	5 GAL.	42	PLANT AT 3' O.C.
	THUNDER CLOUD				
	LEUCOPHYLLUM LANGMANIAE	(1 @ 1.0 GPH)	5 GAL.	29	PLANT AT 4' O.C.
	'LYNN'S LEGACY'				
	'LYNN'S LEGACY' LEUCOPHYLLUM				
accents					
	AGAVE AMERICANA	(1 @ 0.5 GPH)	5 GAL.	11	PLANT AT 5' O.C.
	CENTURY PLANT				
groundcover					
	LANTANA 'NEW GOLD'	(1 @ 1.0 GPH)	1 GAL.	21	PLANT AT 4' O.C.
	NEW GOLD LANTANA				
inerts					
	DECOMPOSED GRANITE			9,799 S.F.	2\"
	MATCH EXISTING				MINIMUM IN ALL PLANTERS



contextual map



SCALE: 1" = 20'-0"



VERTICAL
DESIGN STUDIOS

4650 E. Cotton Center Blvd. Ste. 130
Phoenix, Arizona 85040
Ph 602.395.1000 . Fax 602.395.1005



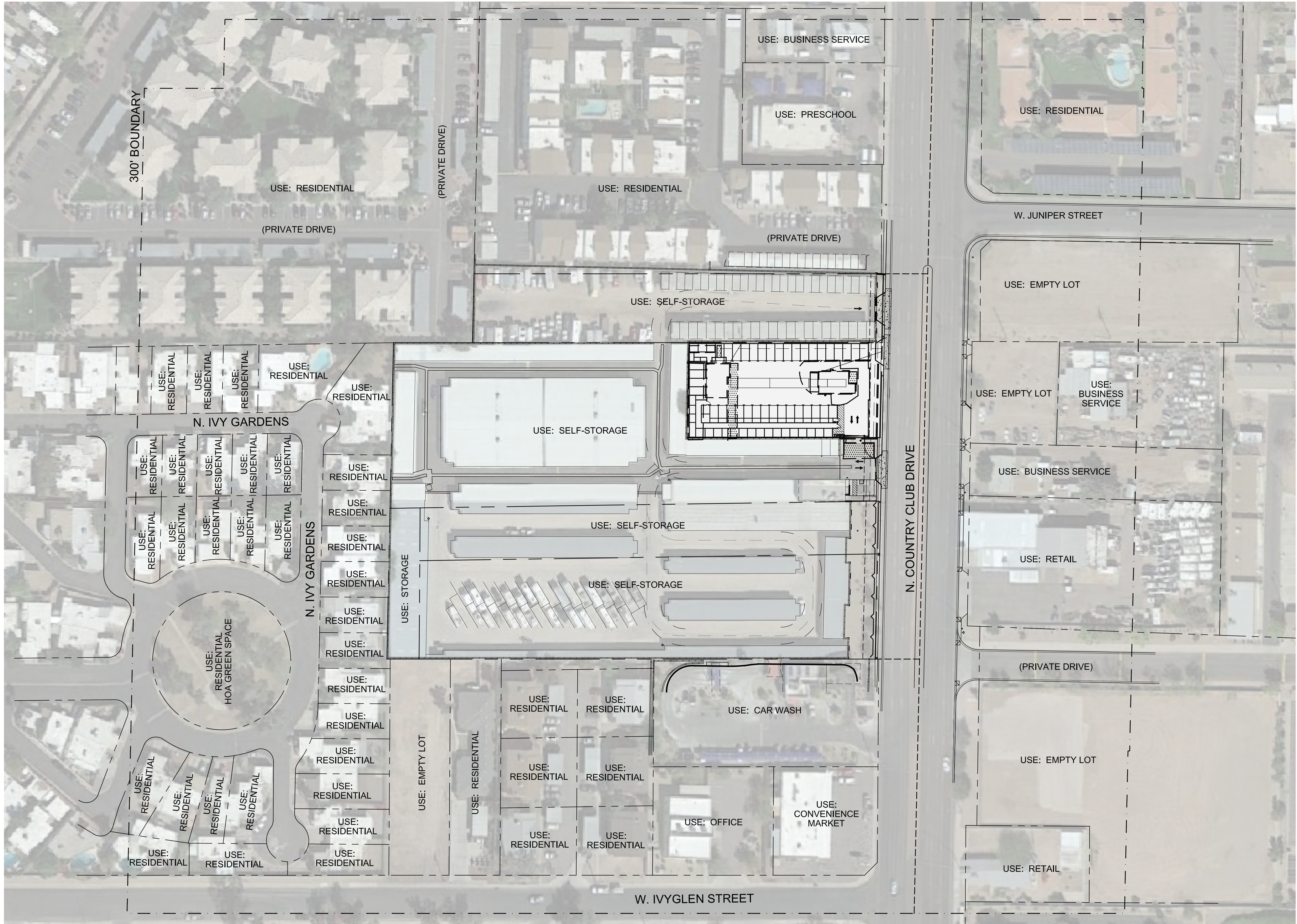
ARIZONA STORAGE INNS
1760 N COUNTRY CLUB DR
MESA, ARIZONA 85201
PRELIMINARY PLANTING PLAN

PROJECT:

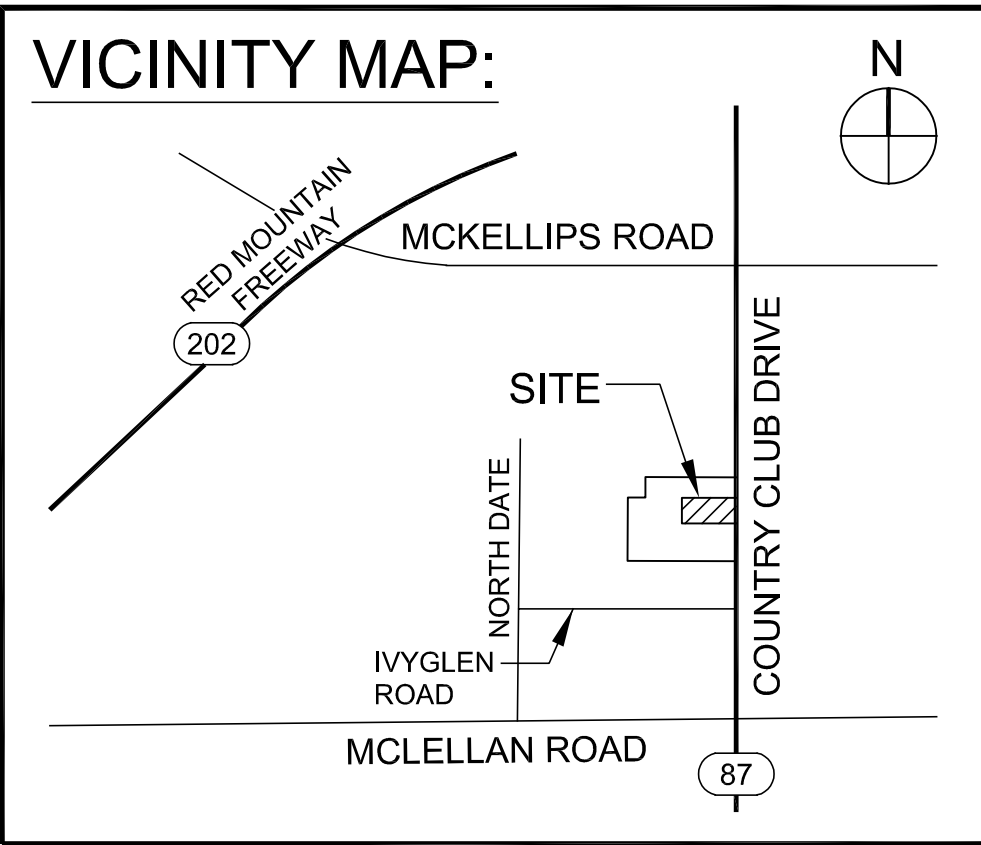
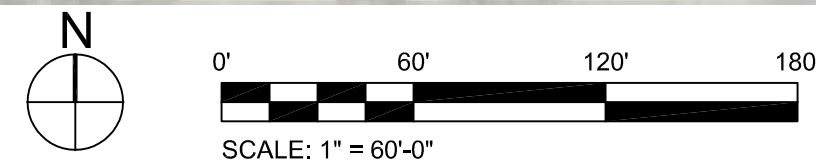
JOB NO: 18-071
DATE:
DRAWN BY: B. PAUL
SUBMITTED: 12.03.2018
REVISED:

SHEET

L.01 of L.01



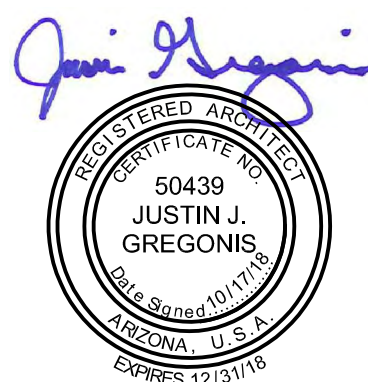
300' RADIUS CONTEXT SITE PLAN
SCALE: 1" = 60'-0"



WENTWORTH
PROPERTY COMPANY

OWNER: WPC-NN AZSI ACQUISITION LLC
DEVELOPER: WENTWORTH PROPERTY CO., DAVID M. BROWN, 602-875-5014
REGISTRANT: VERTICAL DESIGN STUDIOS, JUSTIN GREGONIS, 602-393-5224
APPLICANT: VERTICAL DESIGN STUDIOS, LORI KNUDSON, 602-393-9367

US STORAGE CENTERS
1760 N. Country Club Drive
Mesa, AZ 85201
10.17.2018
PROJECT NO.: 18026



4650 E. Cotton Center Boulevard Phoenix, AZ 85040
602.395.1000 www.verticaldesignstudios.com



1. EXISTING ENTRY DRIVE - TO REMAIN - NO WORK
2. EXISTING ENTRY DRIVE - TO REMOVE - REPLACE WITH CURB, GUTTER AND SIDEWALK PER CIVIL DRAWINGS.
3. EXISTING ENTRY DRIVE - REMOVE AND REPLACE TO MATCH CITY OF MESA DETAIL M-42 PER CIVIL DRAWINGS.
4. EXISTING 11'-4" H. SCREEN WALL - TO RECEIVE UPGRADED FINISHES
5. PROPOSED SCREEN WALL - 12'-0" H. TYP / 13'-4" H. ACCENT
6. PROPOSED CONTROLLED ACCESS GATE - ROLLING GATE
7. PROPOSED 24' CONTROLLED ACCESS GATE - LIFTING GATE
8. PROPOSED 24' CONTROLLED ACCESS GATE - SLIDING GATE
9. EXISTING UTILITY POLE
10. EXISTING STREET LIGHT POLE FIXTURE
11. EXIT ONLY DRIVE
12. EXISTING HYDRANT
13. EXISTING CONCRETE LANDSCAPE CURB
14. PARALLEL PARKING SPACE - 9'-0" X 22'-0" TYP.
15. RV PARKING SPACE - 11'-0" X 46'-0" TYP.
16. STANDARD PARKING SPACE - 9'-0" X 18'-0" TYP.
17. ACCESSIBLE PARKING SPACE - 11'-0" X 18'-0" TYP. WITH 5'-0" X 18'-0" ACCESS AISLE
18. MANAGER PARKING SPACE WITHIN GARAGE STALL
19. PARKING STRIPING - TO MEET CITY OF MESA STANDARDS
20. INFILL PAVING AT AREA OF DEMOLISHED SITE WALL
21. EXISTING SOLID WASTE BIN
22. EXISTING SIDEWALK
23. EXISTING SITE SIGN ON PEDESTAL
24. EXISTING BOLLARD - PAINTED YELLOW
25. EXISTING CURB - TO REMAIN
26. PROPOSED CURB - SEE CIVIL DRAWINGS
27. PROPOSED FDC
28. PROPOSED FIRE RISER ROOM
29. EXISTING SOLID WASTE COLLECTION ROUTE
30. FLAG POLE - REINSTALL SALVAGED FLAG POLE
31. EXISTING 8' WIDE EASEMENT - LANDSCAPE AND INCIDENTAL (SAME AREA AS 11' PROPOSED PUFE EASEMENT)
32. EXISTING 25' WIDE EASEMENT - WATER
33. EXISTING UNDEFINED WITH EASEMENT - ELECTRIC
34. EXISTING 10' WIDE EASEMENT - WATER
35. EXISTING 2' WIDE EASEMENT - LANDSCAPE AND INCIDENTAL
36. EXISTING 10' WIDE EASEMENT - PUBLIC UTILITIES
37. EXISTING 20' WIDE EASEMENT - FIRELINE
38. EXISTING 7' WIDE EASEMENT - ELECTRIC - TO BE ABANDONED
39. EXISTING 5' WIDE EASEMENT - LANDSCAPE
40. EXISTING PARCEL BOUNDARY LINE
41. PROPOSED 8' WIDE EASEMENT - PUFE
42. PROPOSED METAL-FRAMED TRELLIS - SEE EXTERIOR ELEVATIONS
43. PROPOSED FAUX PILASTER AT OUTSIDE WALL CORNERS
44. EXISTING 10' WIDE EASEMENT - TO REMAIN
45. TURNING RADIUS AT VEHICULAR EMERGENCY ACCESS PATH - 55' INTERIOR RADIUS, 35' EXTERIOR RADIUS
46. VEHICULAR EMERGENCY ACCESS PATH - WITHIN 300' OF EXTERIOR WALLS OF ALL BUILDINGS, AS HOSE LAYS - MIN. 20' WIDE PATH

LEGAL DESCRIPTION

BEGINNING AT THE NORTHEAST CORNER OF THE. SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 1 NORTH, RANGE 5 EAST OF TIM GILA AND SALT RIVER BASE AND MERIDIAN, MARIC013A COUNTY, ARIZONA;

THENCE, SOUTH 88° 45' 20" WEST AN ASSUMED REARING) ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 9, A DISTANCE OF 50.01 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 88° 45' 20" WEST, ALONG SAID NORTH LINE, A DISTANCE OF 230.00 FEET;

THENCE SOUTH, A DISTANCE OF 112.00 FEET;

THENCE NORTH 88° 45' 20" EAST, A DISTANCE OF 230.00 FEET;

THENCE NORTH, PARALLEL TO AND 50.00 FEET WEST OF THE EAST LINE OF SAID SECTION 9, A DISTANCE OF 112.00 FEET. TO THE POINT OF BEGINNING;

EXCEPT THE EAST EAST 2 FEET.

FLOOD ZONE

THE SUBJECT PROPERTY LIES ENTIRELY IN ZONE X--SHADED (AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.) ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR THE COUNTY OF MARICOPA, COMMUNITY PANEL NO. 04013C2255L, EFFECTIVE DATE OCTOBER 16, 2013.

DRAINAGE STATEMENT

THE PROPOSED IMPROVEMENTS ON ROUGHLY 0.5 ACRE SITE ARE REPLACING WHAT USED TO BE OLD BUILDINGS, ASPHALT PARKING, A HOUSE AND NUMEROUS NUMBER OF SEMIS PARKED. THE PREVIOUS SITE WAS NOT PROVIDED WITH ANY RETENTION ONSITE AND IT WAS COMPLETELY IMPERVIOUS. THIS PROJECT DOES NOT INCREASE THE RUNOFF FROM WHAT WAS PREVIOUSLY EXISTING ONSITE. IN ACCORDANCE WITH CONFIRMATION FROM COM ENGINEERING, THIS PROJECT PROPOSES TO MAINTAIN THE SAME PREVIOUS DRAINAGE PATTERNS TO THE EAST AND SOUTH THRU THE EXISTING DEVELOPMENT WHICH IS OWNED BY THE SAME ENTITY. THEREFORE NO ONSITE RETENTION HAS BEEN PROVIDED.

CONSTRUCTION NOTES

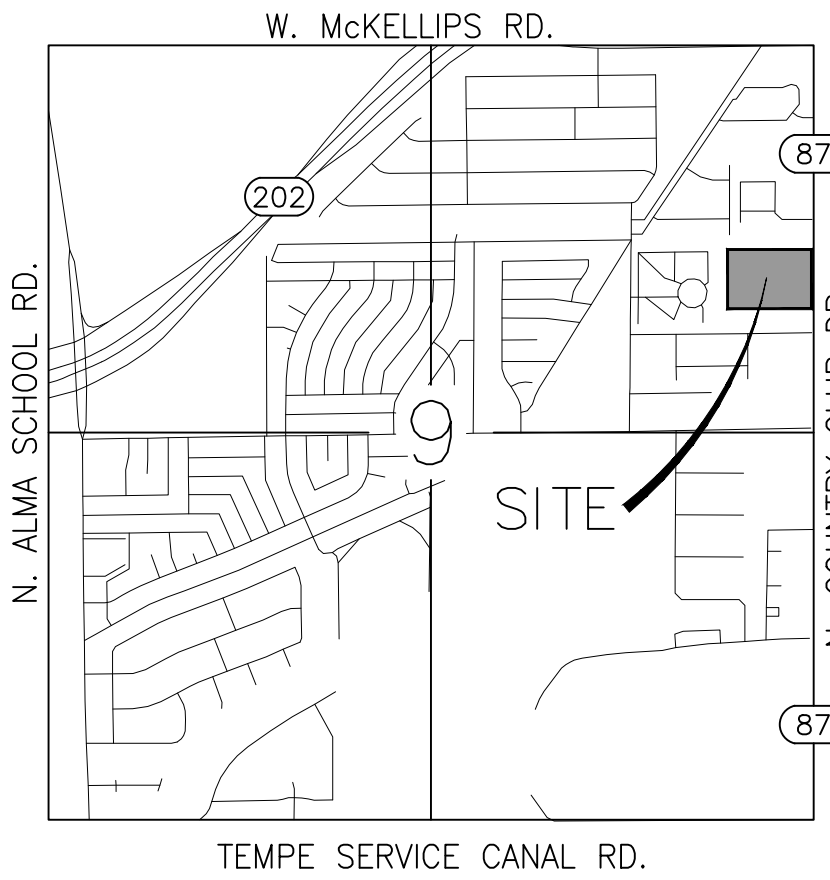
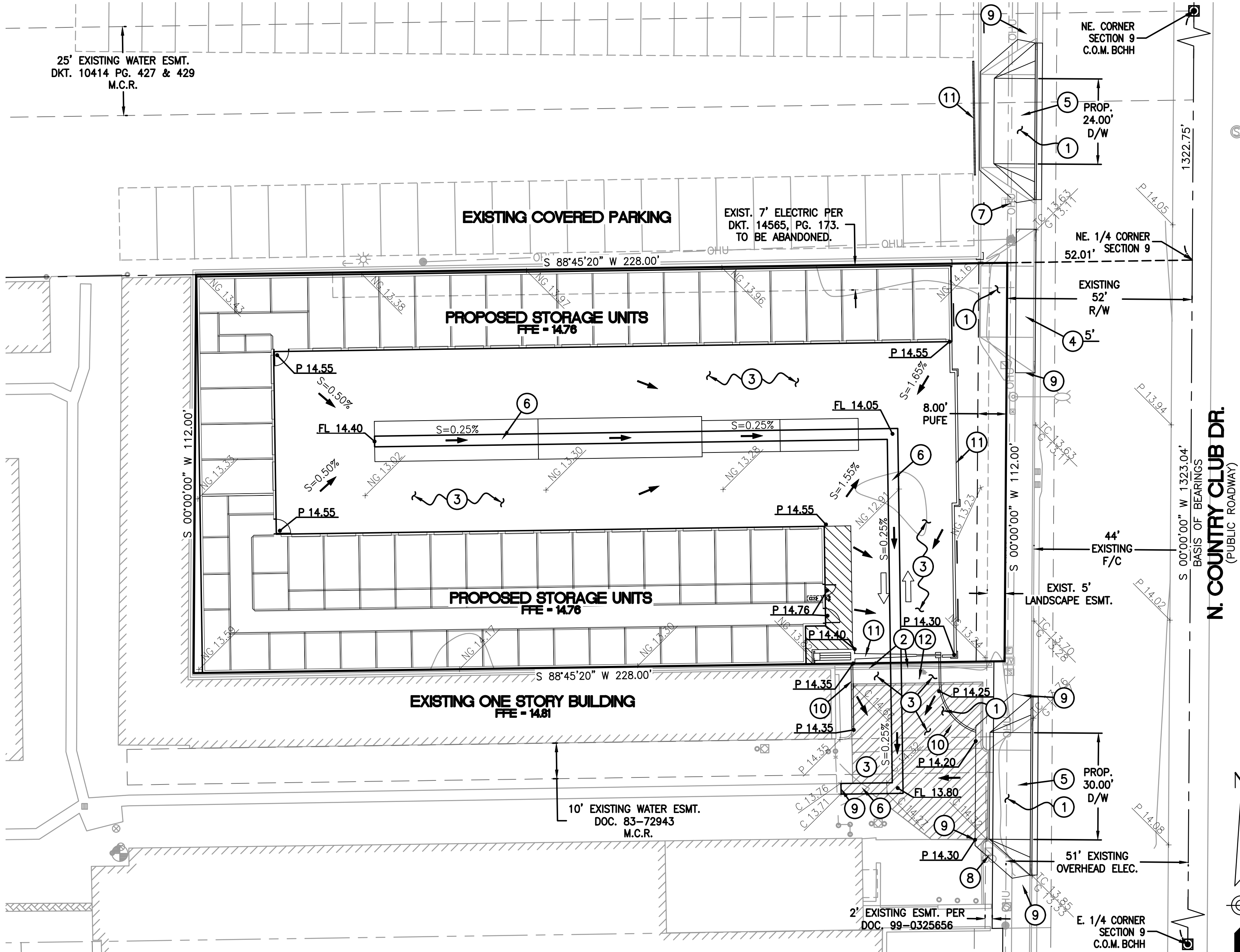
- EXISTING ASPHALT/CONCRETE PAVEMENT, SIDEWALK DRIVEWAY AND OR CURBING TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL CODES. CLEAN SAWCUT AT REMOVAL LIMITS.
- DEMO A PORTION OF EXISTING 6'-8' WALL TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL CODES.
- ASPHALT PAVEMENT MINIMUM 3" AC/6" ABC. GEOTECH REPORT NOT AVAILABLE. TACK AND SEAL NEW PAVEMENT TO EXISTING.
- CONSTRUCT SIDEWALK PER M.A.G. STD DTL. 230. MATCH GRADE AND WIDTH OF EXISTING SIDEWALK.
- CONSTRUCT DRIVEWAY PER C.O.M. STD. DTL. M-42. MATCH EXISTING GRADE WIDTH OF DRIVEWAY NOTED ON PLAN.
- CONSTRUCT 3' VALLEY GUTTER PER M.A.G. STD. DTL. 240.
- RELOCATE EXISTING CABLE TV/COMMUNICATION RISER TO ACCOMMODATE PROPOSED SIDEWALK.
- EXISTING WATER METER TO BE RELOCATED PER C.O.M. STD. DTL. M-49.01, M49.02 & M-29. TO ACCOMMODATE PROPOSED SIDEWALK.
- MATCH EXISTING GRADE.
- SINGLE CURB PER MAG STD. DTL. 222, TYPE A.
- CONSTRUCT GATE/SCREEN WALL. SEE ARCHITECTURAL PLANS FOR ADDITIONAL DETAILS.
- REMOVE AND/OR RELOCATE EXISTING FLAGPOLE.

NOTE:

CONTRACTOR TO MAINTAIN ACCESS IN AND OUT OF THE EXISTING STORAGE FACILITY DURING CONSTRUCTION.

PRELIMINARY GRADING & DRAINAGE
FOR
US STORAGE CENTERS ADDITION
1760 NORTH COUNTRY CLUB DRIVE
MESA, ARIZONA 85201

A PORTION OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



VICINITY MAP
SEC 9, T. 1 N, R. 5 E.

OWNER/DEVELOPER

WFC--NNAZI ACQUISITIONS LLC
802 N. 3RD AVENUE
PHOENIX, ARIZONA 85003
PH: (602) 875-5014
CONTACT: DAVID BROWN

ARCHITECT

VERTICAL DESIGN STUDIOS
4650 E. COTTON CENTER BLVD.,
SUITE 200
PHOENIX, ARIZONA 85040
PH: (602) 395-1000
CONTACT: LORI KNUDSON

ENGINEER:

OPTIMUS CIVIL DESIGN GROUP
4650 EAST COTTON CENTER BLVD.,
SUITE 200
PHOENIX, ARIZONA 85034
PHONE: (602) 286-9300
FAX: (602) 286-9400
CONTACT: JEFF BEHRANA

BASIS OF BEARINGS

the BASIS OF BEARINGS IS THE MONUMENT LINE OF COUNTRY CLUB DRIVE, ALSO BEING THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 9, USING A BEARING OF NORTH 00 DEGREES 22 MINUTES 57 SECONDS EAST, PER RESULTS OF SURVEY, BOOK 985 OF MAPS, PAGE 12, RECORDS OF MARICOPA COUNTY, ARIZONA

BENCHMARK

BRASS TAG AT THE TOP OF CURB AT THE SOUTHEAST CORNER OF COUNTRY CLUB DRIVE AND MCKELLIPS ROAD.

ELEVATION = 1217.79 NAVD'88

AREA

GROSS: 0.58± ACRES

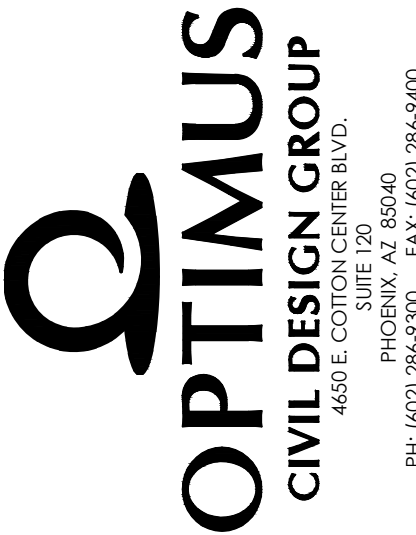
APN NUMBER

135-11-005B

LEGEND					
	FOUND BRASS CAP IN HAND HOLE		EXISTING CATCH BASIN		EXISTING SHUT OFF SWITCH
	FOUND BRASS CAP FLUSH		EXISTING STORM DRAIN MANHOLE		CONCRETE ELEVATION
	FOUND MONUMENT AS SHOWN		EXISTING SIGN		CURB OPENING ELEVATION
	SET 1/2" REBAR WITH CAP		EXISTING SANITARY SEWER MANHOLE		GRATE ELEVATION
	EASEMENT LINE		EXISTING SEWER CLEANOUT		PAVEMENT ELEVATION
	PROPERTY LINE		EXISTING SEWER CLEANOUT		PROPOSED STORM DRAIN
	BOUNDARY LINE		EXISTING FIRE HYDRANT		PROPOSED WATER LINE
	RIGHT OF WAY		EXISTING BACKFLOW PREVENTER		PROPOSED SEWER LINE
			EXISTING WATER VALVE		PROPOSED SEWER CLEANOUT
			EXISTING UTILITY POLE		PROPOSED BACKFLOW
			EXISTING POST		PROPOSED WATER METER
					PROPOSED CATCH BASIN
					PROPOSED STORM DRAIN MANHOLE
					PROPOSED RIPRAP
					PROPOSED FLOW LINE
					SLOPE OUT 4:1 MAXIMUM
					PROPOSED WALL
					DRAINAGE AREA BOUNDARY
					FLOW ARROW
					DRAINAGE AREA DESIGNATOR

20 10 0 10 20 40
SCALE IN FEET: 1"=20'

ARIZONA STORAGE INNS ADDITION
PRELIMINARY GRADING, DRAINAGE
AND UTILITY PLAN
A PORTION OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 1 NORTH,
RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY, ARIZONA



DESIGNED: JDB
DRAWN: DEB
CHECKED: JDB
DATE: 10-2018
JOB NO.: 181291

DRAWING NO

C-1

1 OF 1

USE OF THE INFORMATION CONTAINED IN THIS INSTRUMENT FOR OTHER THAN THE SPECIFIC PURPOSE FOR WHICH IT WAS INTENDED AND FOR OTHER THAN THE CLIENT FOR WHOM IT WAS PREPARED IS FORBIDDEN UNLESS EXPRESSLY PERMITTED IN WRITING IN ADVANCE BY OPTIMUS CIVIL DESIGN GROUP. OPTIMUS CIVIL DESIGN GROUP SHALL HAVE NO LIABILITY TO ANY USE OF THIS INFORMATION WITHOUT THEIR WRITTEN CONSENT.

ARIZONA STORAGE INNS

project consultants

landscape architecture:

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SCOTTSDALE, ARIZONA 85251
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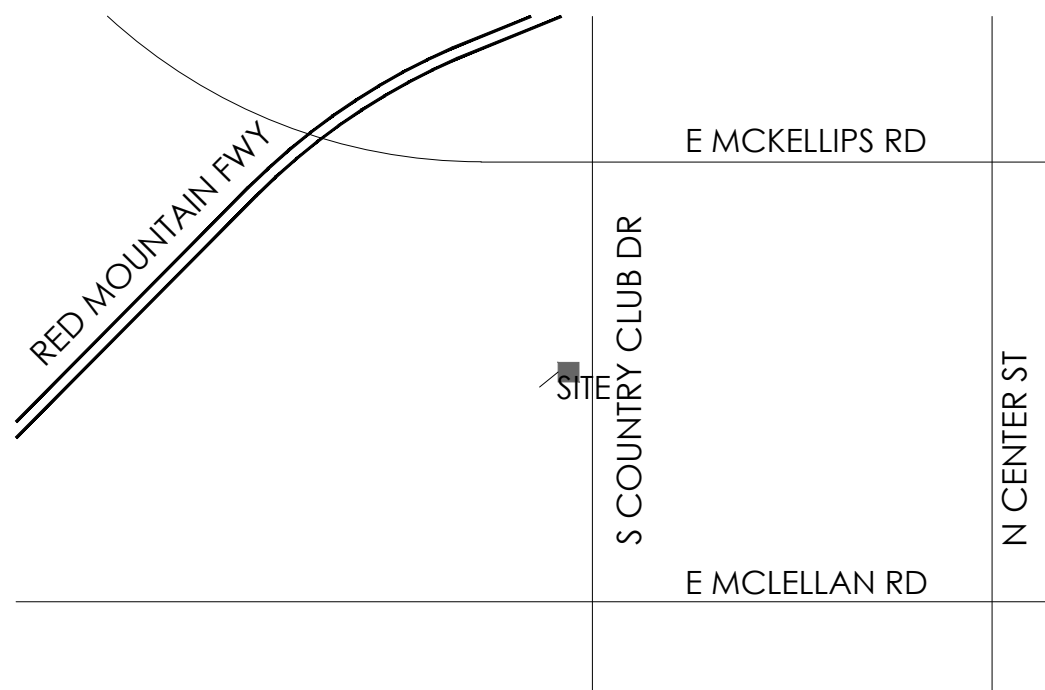
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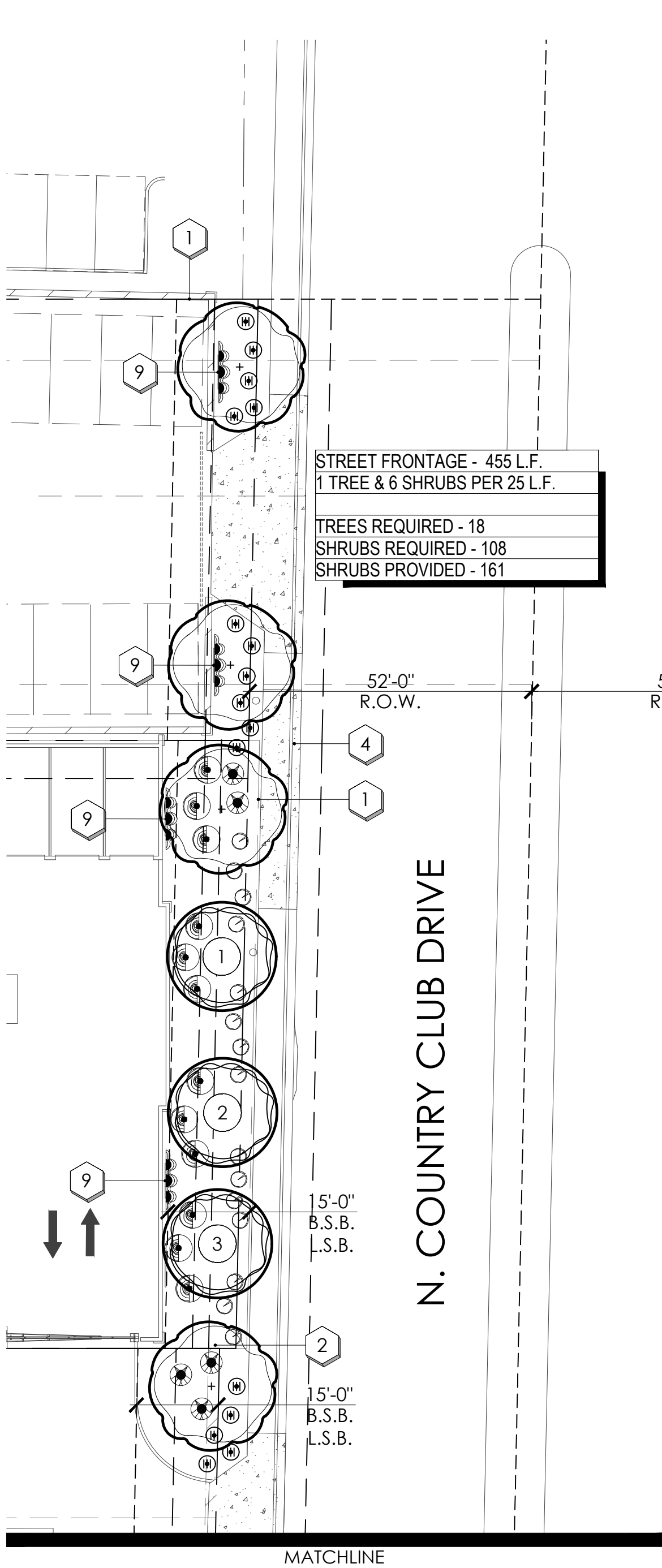
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vicinity map

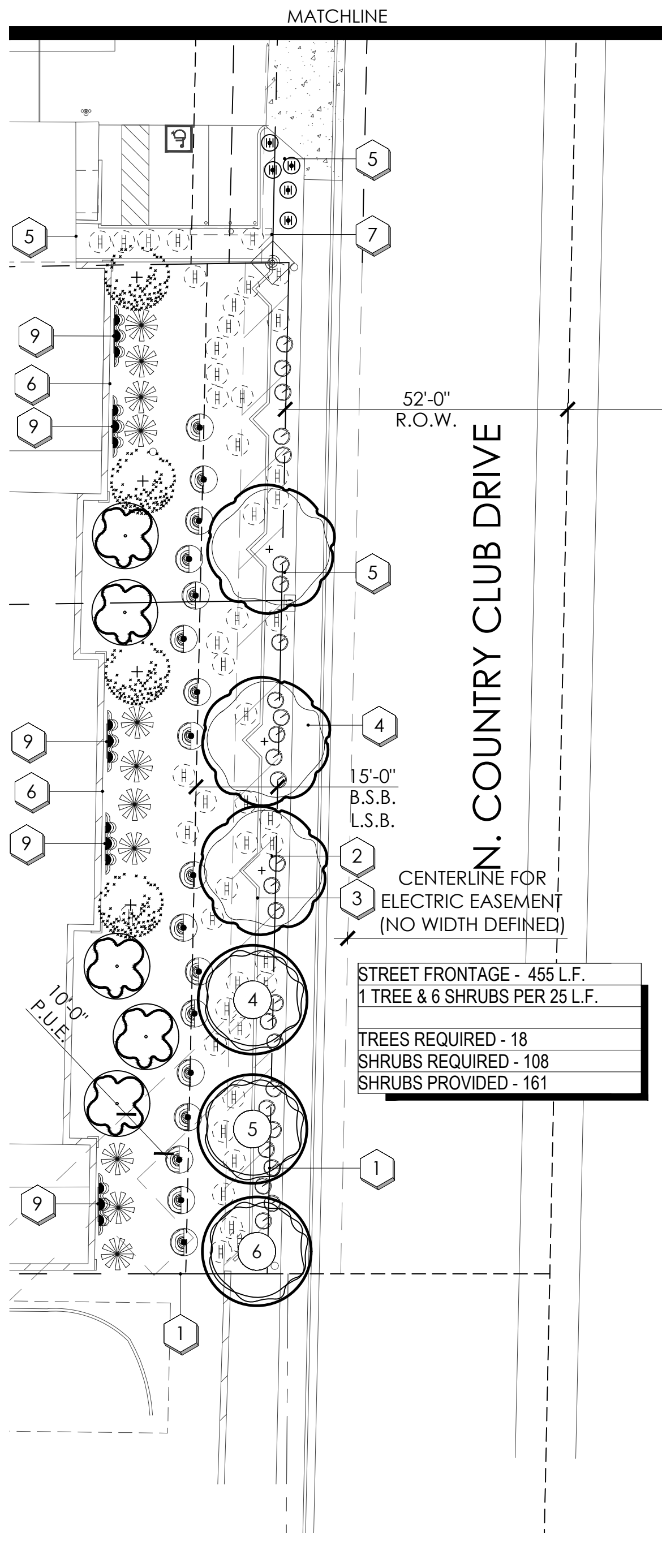


not to scale



planting key notes

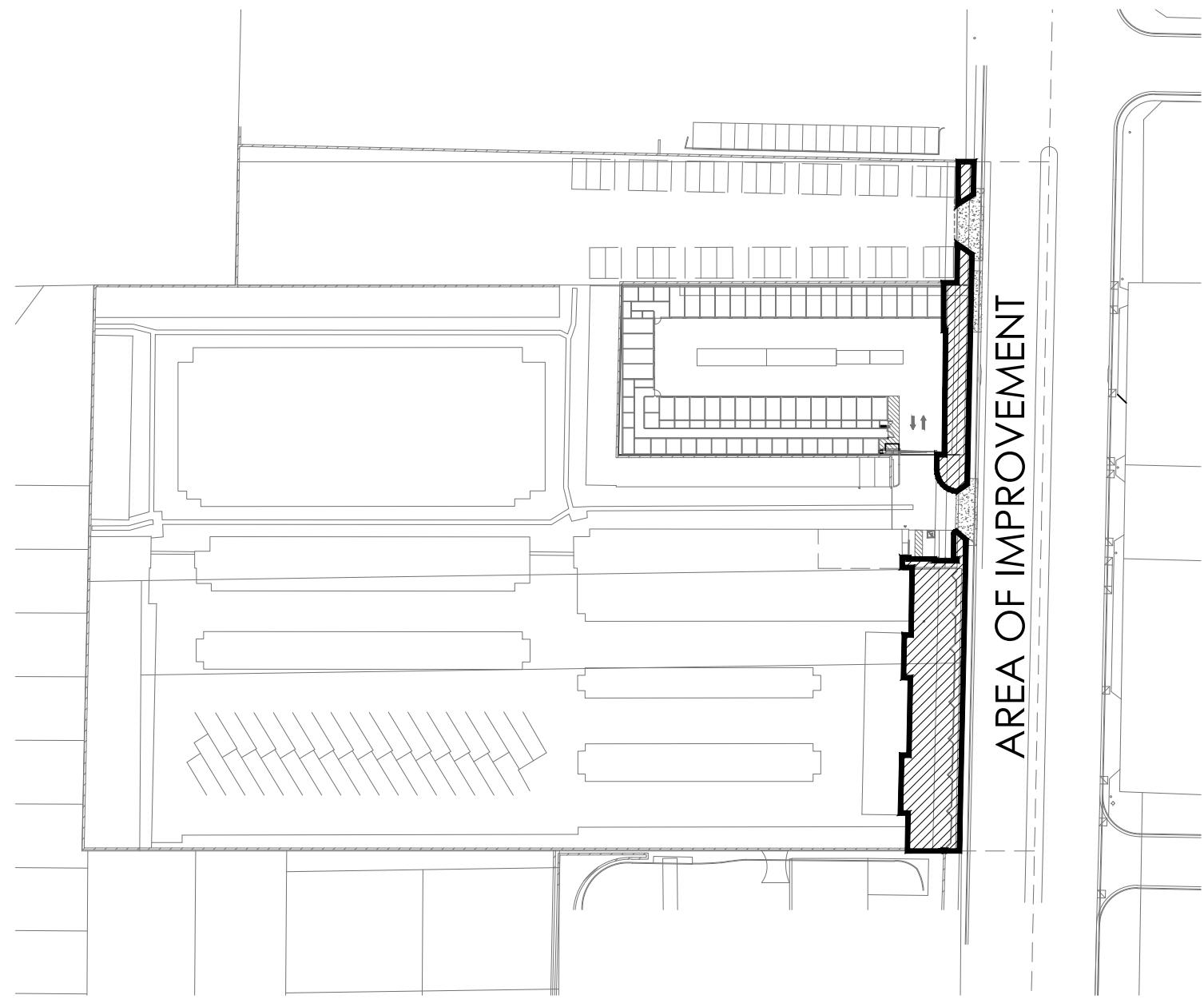
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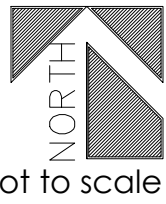
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4	SOUTHERN LIVE OAK	QUERCUS VIRGINIANA	12	15	20
5	SOUTHERN LIVE OAK	QUERCUS VIRGINIANA	10	15	15
6	SOUTHERN LIVE OAK	QUERCUS VIRGINIANA	12	15	15

plant legend

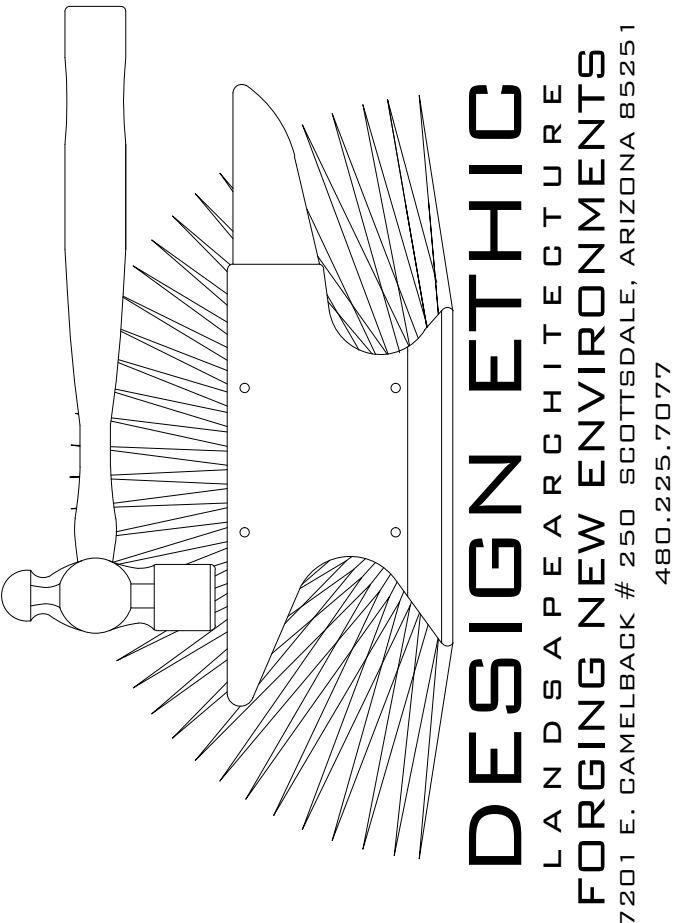
	botanical name common name	emitters	size	qty	comments
trees					
	EXISTING TREE			6	REMAIN IN PLACE
	SOUTHERN LIVE OAK				SEE TABLE
	MARIOSOSA WILLARDIANA	(5 @ 1.0 GPH)	24"	4	H., W., CAL. STAKE IN PLACE
	PALO BLANCO		BOX		
	HAVARDIA PALLENS	(5 @ 1.0 GPH)	24"	5	H., W., CAL. STAKE IN PLACE
	'SIERRA SPARKLER'		BOX		
	QUERCUS VIRGINIANA	(6 @ 2.0 GPH)	24"	7	H., W., CAL.
	SOUTHERN LIVE OAK		BOX		
vines					
	MACFADYENA UNGUIS-CATI	(1 @ 1.0 GPH)	5 GAL.	9	TRAIN TO TRELLIS
	CAT'S CLAW VINE				
shrubs					
	EXISTING SHRUB		VARIES	47	REMAIN IN PLACE
	CALLIANDRA CALIFORNICA	(1 @ 1.0 GPH)	5 GAL.	5	PLANT AT 4' O.C.
	BAJA FAIRY DUSTER				
	LEUCOPHYLLUM CANDIDUM	(1 @ 1.0 GPH)	5 GAL.	42	PLANT AT 3' O.C.
	THUNDER CLOUD				
	LEUCOPHYLLUM LANGMANIAE	(1 @ 1.0 GPH)	5 GAL.	29	PLANT AT 4' O.C.
	'LYNN'S LEGACY'				
	'LYNN'S LEGACY' LEUCOPHYLLUM				
accents					
	AGAVE AMERICANA	(1 @ 0.5 GPH)	5 GAL.	11	PLANT AT 5' O.C.
	CENTURY PLANT				
groundcover					
	LANTANA 'NEW GOLD'	(1 @ 1.0 GPH)	1 GAL.	21	PLANT AT 4' O.C.
	NEW GOLD LANTANA				
inerts					
	DECOMPOSED GRANITE			9,799 S.F.	2" MINIMUM IN ALL PLANTERS
	MATCH EXISTING				



contextual map



not to scale



4650 E. Cotton Center Blvd. Ste. 130
Phoenix, Arizona, 85040
Ph 602.395.1000 . Fax 602.395.1005



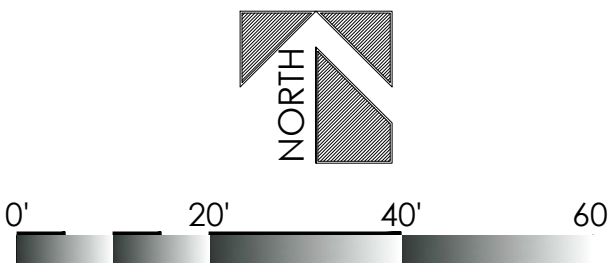
US STORAGE CENTERS
1760 N COUNTRY CLUB DR
MESA, ARIZONA 85201
PRELIMINARY PLANTING PLAN

PROJECT:

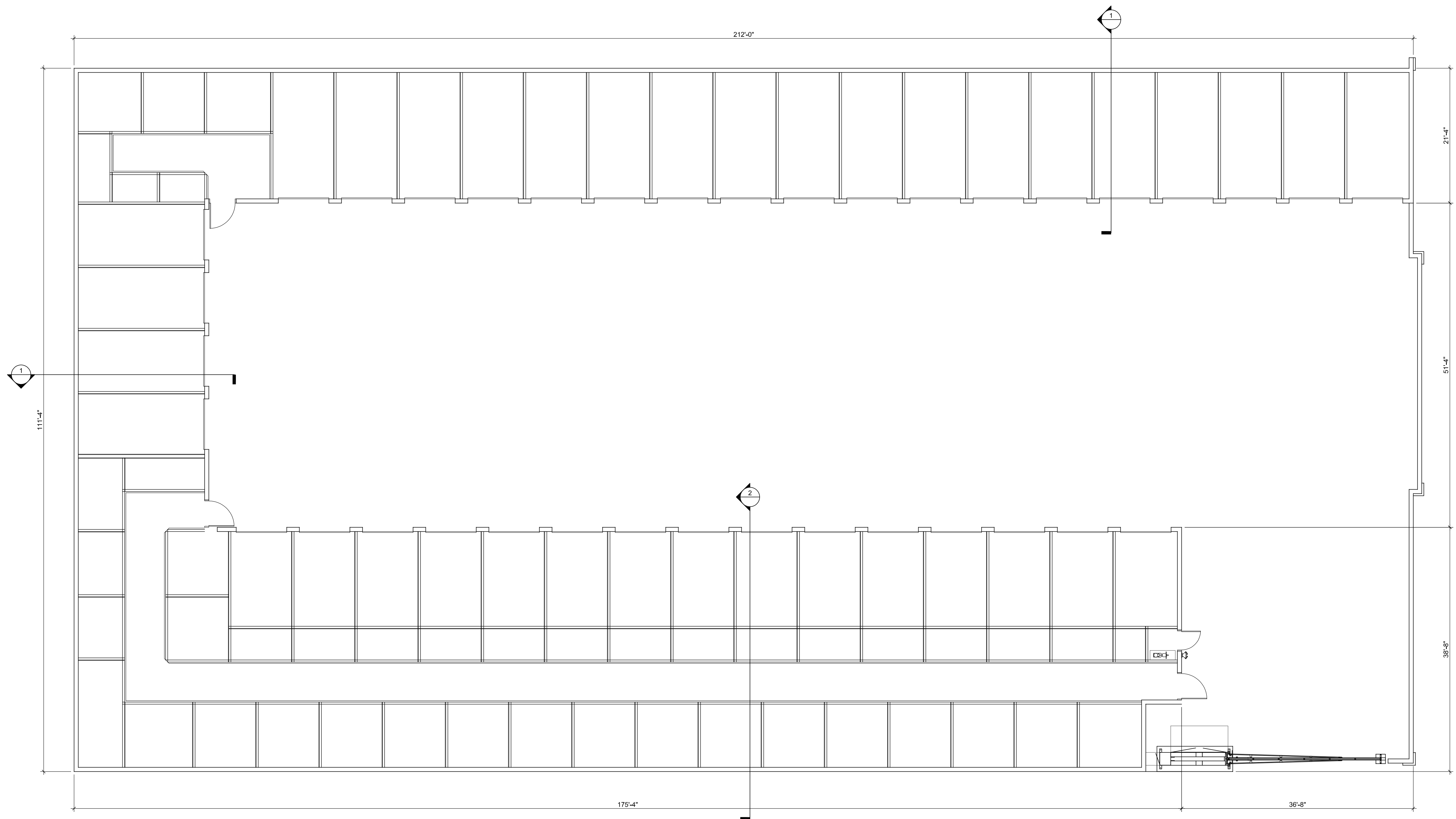
JOB NO: 18-071
DATE:
DRAWN BY: B. PAUL
SUBMITTED: 10.16.2018
REVISED:

SHEET

L.01 of L.01

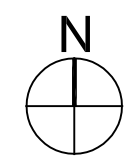


SCALE: 1" = 20'-0"



PROPOSED FLOOR PLAN

SCALE: 1/8" = 1'-0"



SCALE: 1" = 8'-0"

WENTWORTH
PROPERTY COMPANY

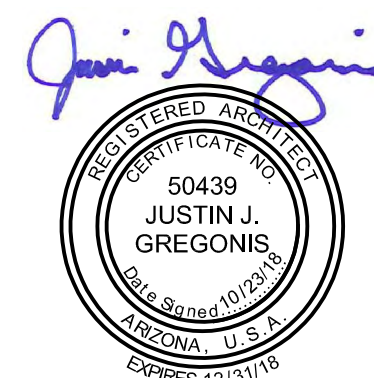
OWNER: WPC-NN AZSI ACQUISITION LLC
DEVELOPER: WENTWORTH PROPERTY CO., DAVID M. BROWN, 602-875-5014
REGISTRANT: VERTICAL DESIGN STUDIOS, JUSTIN GREGONIS, 602-393-5224
APPLICANT: VERTICAL DESIGN STUDIOS, LORI KNUDSON, 602-393-9367

US STORAGE CENTERS

1760 N. Country Club Drive
Mesa, AZ 85201

10.23.2018

PROJECT NO.: 18026



4650 E. Cotton Center Boulevard Phoenix, AZ 85040
602.395.1000 www.verticaldesignstudios.com



Catalog Number
Notes
Type

Contractor Select™

TWR LED

Wall Pack



Cast in a traditional dayform, the TWR LED luminaire offers a popular, classic appearance. Its advanced LEDs deliver an expected service life of more than 20 years and eliminate frequent lamp and ballast replacements associated with traditional technologies.

FEATURES:

- Replaces 100W to 400W HID lamps
- Energy savings of 85%, payback within two years
- Photocell option available



Catalog Number	UPC	Description	Replaces Up To	Lumens	Wattage	CCT	Voltage	Finish	Pallet qty.
TWR1 LED P2 40K MVOLT DDBTXD M2	191723489903	WALL PACKS	150W METAL HALIDE	3,442	28W	4000K	120-277V	TEXTURED DARK BRONZE	48
TWR1 LED P2 50K MVOLT DDBTXD M2	191723489927	WALL PACKS	150W METAL HALIDE	3,519	28W	5000K	120-277V	TEXTURED DARK BRONZE	48
TWR1 LED P3 40K MVOLT DDBTXD M2	191723489941	WALL PACKS	175W METAL HALIDE	4,466	40W	4000K	120-277V	TEXTURED DARK BRONZE	48
TWR1 LED P3 50K MVOLT DDBTXD M2	191723489965	WALL PACKS	175W METAL HALIDE	4,554	40W	5000K	120-277V	TEXTURED DARK BRONZE	48
TWR1 LED P4 40K MVOLT DDBTXD M2	191723489972	WALL PACKS	250W METAL HALIDE	5,551	49W	4000K	120-277V	TEXTURED DARK BRONZE	48
TWR1 LED P4 50K MVOLT DDBTXD M2	191723489989	WALL PACKS	250W METAL HALIDE	5,695	49W	5000K	120-277V	TEXTURED DARK BRONZE	48
TWR2 LED P1 40K MVOLT DDBTXD M2	191723972818	WALL PACKS	400W METAL HALIDE	8,150	64W	4000K	120-277V	TEXTURED DARK BRONZE	48
TWR2 LED P1 50K MVOLT DDBTXD M2	191723972788	WALL PACKS	400W METAL HALIDE	8,150	64W	5000K	120-277V	TEXTURED DARK BRONZE	48
TWR2 LED P2 40K MVOLT DDBTXD M2	191723972610	WALL PACKS	400W METAL HALIDE	9,700	64W	4000K	120-277V	TEXTURED DARK BRONZE	48
TWR2 LED P2 50K MVOLT DDBTXD M2	191723972603	WALL PACKS	400W METAL HALIDE	9,700	64W	5000K	120-277V	TEXTURED DARK BRONZE	48

More configurations are available. [Click here](#) or visit www.acuitybrands.com and search for TWR LED.



Specifications

INTENDED USE:

The TWR1 LED combines traditional wall pack design with high-output LEDs to provide an energy-efficient, low maintenance LED wall pack suitable for replacing up to 400W Metal Halide fixtures. The traditional shape helps maintain building aesthetics when replacing only a portion of your building's wall packs. TWR LED is ideal for outdoor applications such as carports, loading areas, driveways and parking areas.

CONSTRUCTION:

Rugged cast-aluminum housing with bronze polyester powder paint for lasting durability. Door is hinged on the side so door swings out of the way during installation and service. Castings are sealed with a one-piece gasket to inhibit the entrance of external contaminants. MVOLT driver operates on any line voltage from 120-277V (50/60Hz). All luminaires have 6kV surge protection. Rated for outdoor installations, -40°C minimum ambient. Please consult factory for surge rating of photocells.

ELECTRICAL:

Light engine consists of long-life, high-efficacy LEDs mounted on an internal aluminum heat sink to maximize heat dissipation and promote long life (L95/100,000 hours at 40°C). Driver and integral photocell operate at 120V and are fully enclosed in the upper housing. There are no user serviceable parts. LEDs maintain 70% of light output at 35,000 hours of service. (LED lifespan based on IESNA LM-80-08 results and calculated per IESNA TM-21-11 methodology.)

INSTALLATION

Designed for wall mounting above four feet from ground. Housing is configured for mounting directly over a standard 4" outlet box (by others) or for surface wiring via any of three convenient 1/2" threaded conduit entry hubs.

LISTINGS:

UL Listed to U.S. and Canadian safety standards for wet locations. Tested in accordance with IESNA LM-79 and LM-80 standards.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

WARRANTY:

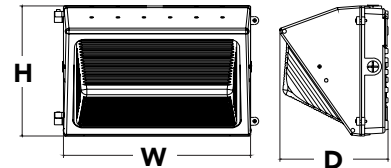
5-year limited warranty. Complete warranty terms located at:
www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Dimensions

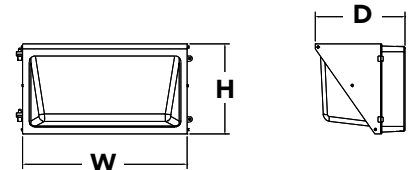
TWR1:

Width: 12-15/16(32.9cm)
Height: 9"(22.9cm)
Depth: 7-1/2 (19cm)
Weight: 11.95 (5.42kg)



TWR2:

Width: 17"(42.2cm)
Height: 9"(22.9cm)
Depth: 9-5/16"(23.6cm)
Weight: 17.2lbs (5.42kg)

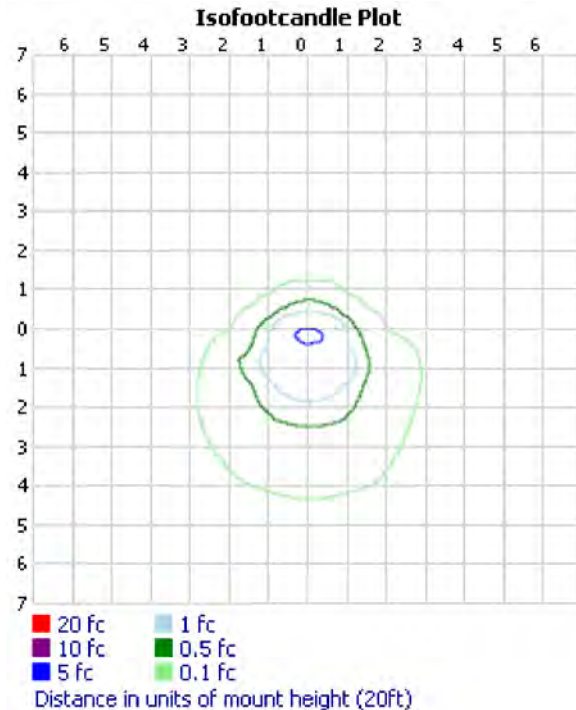
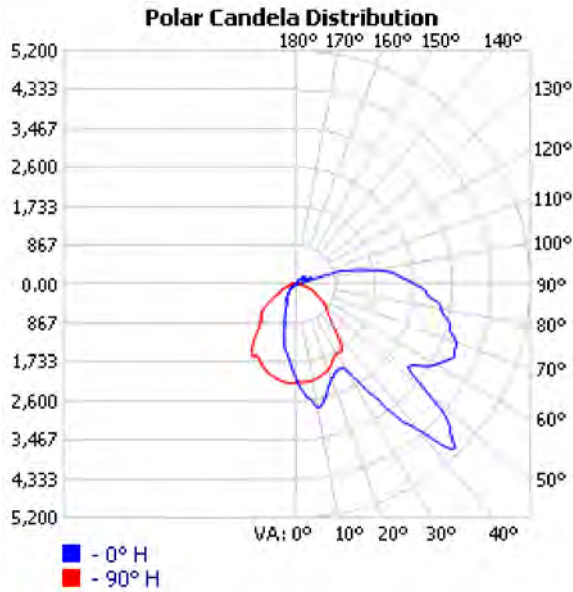


All dimensions are inches (centimeters) unless otherwise indicated.

INDOOR PHOTOMETRIC REPORT

CATALOG: TWR2 LED P2 40K MVOLT DDBTXD M2

TEST #: TWR2 LED P2 MVOLTP1
 TEST LAB: SCALED PHOTOMETRY
 TEST DATE: 11/9/2017
 CATALOG: TWR2 LED P2 40K MVOLT DDBTXD M2
 DESCRIPTION: OUTDOOR NON-CUTOFF AND SEMI-CUTOFF WALL-MOUNTED AREA LUMINAIRES
 SERIES: CONTRACTOR SELECT TWR LED WALL PACK
 LAMP OUTPUT: 1 LAMP, RATED LUMENS/LAMP: 9738.5
 INPUT WATTAGE: 73.29
 LUMINOUS OPENING: POINT
 CIE CLASS: SEMI-DIRECT
 MAX CD: 5,146.4 AT HORIZONTAL: 22.5°, VERTICAL: 46°
 SPACING CRITERION: @ 0 = 2.36 / @ 90 = 1.3
 EFFICIENCY: 100%



VISUAL PHOTOMETRIC TOOL 1.2.46 COPYRIGHT 2018, ACUITY BRANDS LIGHTING.

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TWR2 LED P2 MVOLTP1
VISUAL PHOTOMETRIC TOOL

PUBLISH
PAGE 1 OF 3

INDOOR PHOTOMETRIC REPORT

CATALOG: TWR2 LED P2 40K MVOLT DDBTXD M2

**ZONAL LUMEN SUMMARY**

ZONE	LUMENS	% LAMP	% LUMINAIRE
0-30	1,488.4	15.3%	15.3%
0-40	2,451.7	25.2%	25.2%
0-60	5,060.3	52%	52%
60-90	3,416.0	35.1%	35.1%
70-100	2,820.0	29%	29%
90-120	1,080.8	11.1%	11.1%
0-90	8,476.2	87%	87%
90-180	1,262.3	13%	13%
0-180	9,738.6	100%	100%

LUMENS PER ZONE

ZONE	LUMENS	% TOTAL	ZONE	LUMENS	% TOTAL
0-10	203.7	2.1%	90-100	686.3	7%
10-20	556.2	5.7%	100-110	301.1	3.1%
20-30	728.5	7.5%	110-120	93.3	1%
30-40	963.3	9.9%	120-130	66.4	0.7%
40-50	1,342.5	13.8%	130-140	57.6	0.6%
50-60	1,266.1	13.0%	140-150	35.3	0.4%
60-70	1,282.4	13.2%	150-160	17.4	0.2%
70-80	1,175.9	12.1%	160-170	4.4	0%
80-90	957.8	9.8%	170-180	0.4	0%

COEFFICIENTS OF UTILIZATION - ZONAL CAVITY METHOD

EFFECTIVE FLOOR CAVITY REFLECTANCE: 20%

RCC %:	80				70				50				30				10				0
RW %:	70	50	30	0	70	50	30	0	50	30	20	50	30	20	50	30	20	50	30	20	0
RCR: 0	1.16	1.16	1.16	1.16	1.12	1.12	1.12	.87	1.04	1.04	1.04	.97	.97	.97	.90	.90	.90	.87	.87	.87	.87
1	1.01	.95	.89	.83	.97	.91	.86	.65	.84	.80	.76	.78	.74	.71	.72	.69	.67	.63	.63	.63	.63
2	.90	.80	.71	.64	.86	.77	.69	.51	.71	.65	.59	.66	.60	.56	.61	.56	.53	.49	.49	.49	.49
3	.81	.69	.59	.51	.78	.66	.57	.41	.61	.54	.48	.57	.50	.45	.52	.47	.43	.40	.40	.40	.40
4	.74	.60	.50	.42	.70	.58	.49	.35	.54	.46	.39	.50	.43	.37	.46	.40	.36	.33	.33	.33	.33
5	.67	.53	.43	.36	.64	.51	.42	.29	.48	.39	.33	.44	.37	.32	.41	.35	.30	.28	.28	.28	.28
6	.62	.47	.38	.31	.59	.46	.37	.25	.43	.35	.29	.40	.33	.27	.37	.31	.26	.24	.24	.24	.24
7	.57	.43	.33	.27	.55	.41	.32	.22	.38	.31	.25	.36	.29	.24	.33	.27	.23	.20	.20	.20	.20
8	.53	.39	.30	.23	.51	.38	.29	.20	.35	.27	.22	.33	.26	.21	.31	.25	.20	.18	.18	.18	.18
9	.50	.35	.27	.21	.47	.34	.26	.18	.32	.25	.20	.30	.24	.19	.28	.22	.18	.16	.16	.16	.16
10	.46	.33	.24	.19	.44	.32	.24	.16	.30	.23	.18	.28	.22	.17	.26	.20	.16	.14	.14	.14	.14

INDOOR PHOTOMETRIC REPORT

CATALOG: TWR2 LED P2 40K MVOLT DDBTXD M2

**CANDELA TABLE - TYPE C**

	0	22.5	45	67.5	90	112.5	135	157.5	180	202.5	225	247.5	270	292.5	315	337.5	360
0	2141	2141	2141	2141	2141	2141	2141	2141	2141	2141	2141	2141	2141	2141	2141	2141	2141
5	2510	2487	2396	2313	2187	1974	1836	1757	1724	1774	1863	1985	2205	2324	2392	2489	2510
10	2782	2798	2637	2428	2165	1811	1601	1510	1487	1518	1566	1795	2178	2421	2610	2782	2782
15	2524	2635	2799	2565	2106	1659	1397	1167	1078	1191	1390	1563	2109	2458	2705	2622	2524
20	2219	2303	2538	2546	2030	1509	1073	843	779	867	1055	1441	2039	2420	2428	2358	2219
25	2127	2094	2158	2327	1876	1301	823	616	558	651	812	1292	1909	2292	2148	2189	2127
30	2214	2054	1973	2112	1781	1049	636	475	438	489	658	1075	1848	2086	1987	2181	2214
35	3131	2602	1970	2238	1733	868	523	417	405	423	530	912	1736	2080	1988	2722	3131
40	4268	4002	2087	2016	1332	706	432	392	305	349	433	731	1368	1848	2297	3951	4268
45	4902	5027	2689	1446	1020	529	346	278	238	253	328	551	1139	1537	3104	5075	4902
50	3871	4643	3581	1276	844	364	226	221	203	218	227	384	1036	1403	3988	4306	3871
55	3142	3150	3470	1306	739	290	184	181	132	170	183	295	854	1415	3501	2983	3142
60	3580	3261	2492	1386	574	231	154	131	113	134	154	238	589	1647	2456	3286	3580
65	3853	3559	2110	1695	456	169	117	102	76	107	116	171	431	2235	2349	3575	3853
70	3780	3598	2108	1782	337	133	94	62	51	63	95	127	353	1411	2415	3555	3780
75	3539	3364	2009	1063	217	121	74	29	26	28	71	129	239	1145	2337	3315	3539
80	3256	3150	1916	789	146	94	44	6	3	7	42	95	157	950	2159	3101	3256
85	2933	2832	1808	611	108	58	33	6	4	6	35	59	104	720	1936	2755	2933
90	2632	2444	1574	442	88	46	27	6	5	6	28	49	83	558	1677	2434	2632
95	2255	2043	1332	315	92	41	22	6	6	6	23	44	91	402	1396	2055	2255
100	1781	1589	966	210	98	36	19	6	7	6	22	38	97	266	1035	1522	1781
105	1171	1062	515	147	82	31	18	6	7	7	19	32	76	183	466	1031	1171
110	105	255	254	115	62	27	17	7	7	7	18	28	59	134	237	262	105
115	338	190	213	93	52	24	16	7	8	7	15	23	49	99	211	198	338
120	249	213	145	84	44	20	14	7	8	7	13	20	47	89	151	229	249
125	208	190	120	78	37	18	12	7	7	7	11	19	40	74	123	184	208
130	213	181	136	83	32	17	10	6	7	6	10	18	34	80	168	229	213
135	217	222	150	87	28	16	9	6	6	6	8	16	29	97	181	214	217
140	167	169	115	71	24	15	7	5	6	6	7	13	25	88	129	177	167
145	149	152	102	54	20	13	6	5	5	5	6	11	19	70	106	142	149
150	128	135	98	37	15	10	5	5	5	5	5	8	13	51	101	130	128
155	119	114	78	17	9	6	4	5	5	5	4	5	8	29	84	102	119
160	80	76	50	4	3	3	4	4	5	4	4	3	3	11	65	71	80
165	54	42	19	4	3	3	4	4	4	4	4	3	3	3	27	47	54
170	16	9	3	3	3	3	4	3	4	4	4	3	3	3	3	14	16
175	3	3	3	3	3	3	4	3	4	4	4	3	3	3	3	3	3
180	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3

TWR2 LED P2 MVOLTP1
VISUAL PHOTOMETRIC TOOLPUBLISH
PAGE 3 OF 3